

# Sample House Plans

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## STANDARD ABBREVIATIONS

@	AT	JT.	JOINT
#	FOUND(S)	JST.	JOIST
		JSTS.	JOISTS
APPROX. APPROXIMATELY			
BASE.	BASEMENT	LT.	LIGHT
B/T	BETWEEN	LIN.	LINEN
BLK.	BLOCK	MANUF.	MANUFACTURER
BLK'G	BLOCKING	MAS.	MASONRY
BD.	BOARD	MAX.	MAXIMUM
BRD.	BOARD	MTL.	METAL
BOT.	BOTTOM	MIN.	MINIMUM
BLDG.	BUILDING	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	O.C.	ON CENTER
CLG.	CEILING	O/C	ON CENTER
CLR.	CLEAR	OPT.	OPTIONAL
CLOS.	CLOSET	O.S.B.	ORIENTED STRAND BOARD
COL.	COLUMN	OTS	OWNER TO SELECT
COLS.	COLUMNS	O.T.S	OWNER TO SELECT
CONC.	CONCRETE		
CMU	CONCRETE MASONRY UNIT	PG.	PAGE
C.U.	CONDENSOR UNIT	FAN.	FANTRY
CONN.	CONNECTION	FL.	PLATE
CONT.	CONTINUOUS	F	PLATE
COVER'G	COVERING	PLYND	PLYWOOD
CS	CRAWL SPACE	PLYND	PLYWOOD
DECO	DECORATIVE	POLY.	POLYETHYLENE
DET.	DETAIL	PSI	POUNDS PER SQUARE INCH
DIA.	DIAMETER	PRE-FAB	PREFABRICATED
DW	DISHWASHER	RE.	REFERENCE
DBL.	DOUBLE	REF	REFRIGERATOR
DF	DOUGLAS FIR	REINF.	REINFORCED
D	DRYER	R	RESISTANCE
EA.	EACH	R.A.	RETURN AIR
ELEV.	ELEVATION	R.A.G.	RETURN AIR GRILLE
ENG.	ENGINEER	REQ'D	REQUIRED
FT.	FEET	SCR	SCREEN
F.F.L.	FINISHED FLOOR LINE	SHLV.	SHELVES
FIN.	FINISH	SHR	SHOWER
F.C.	FIRE CODE	SHWR	SHOWER
FLR.	FLOOR	SST.	SIMPSON STRONG TIE
FTG.	FOOTING	SP	SOUTHERN PINE
FOUND.	FOUNDATION	SPECS.	SPECIFICATIONS
FND.	FOUNDATION	SQ.	SQUARE
FR.	FREEZER	S.F.	SQUARE FOOTAGE
GA.	GAUGE	STL.	STEEL
GALV.	GALVANIZED	THK.	THICK
GYP.	GYP-SUM	THK.	THICKNESS
HDR.	HEADER	TBD.	TO BE DETERMINED
HVAC	HEATING, VENTILATION & AIR CONDITIONING	TR.	TRANSOM
HT.	HEIGHT	TYP.	TYPICAL
HTS.	HEIGHTS	U.T.C.	UNDER THE COUNTER
HORIZ.	HORIZONTAL	UTIL.	UTILITY
IN.	INCHES	VAN.	VANITY
INCL.	INCLUDE	VERT.	VERTICAL
INSUL.	INSULATION	WH	WATER HEATER
		W	WASHER
		WT.	WEIGHT
		WIN.	WINDOW
		W.M.	WIRE MESH
		W	WIRE
		WD.	WOOD
		WF	WOOD FRAME
		CM	CONSTRUCTION MANUAL



**SAMPLE**

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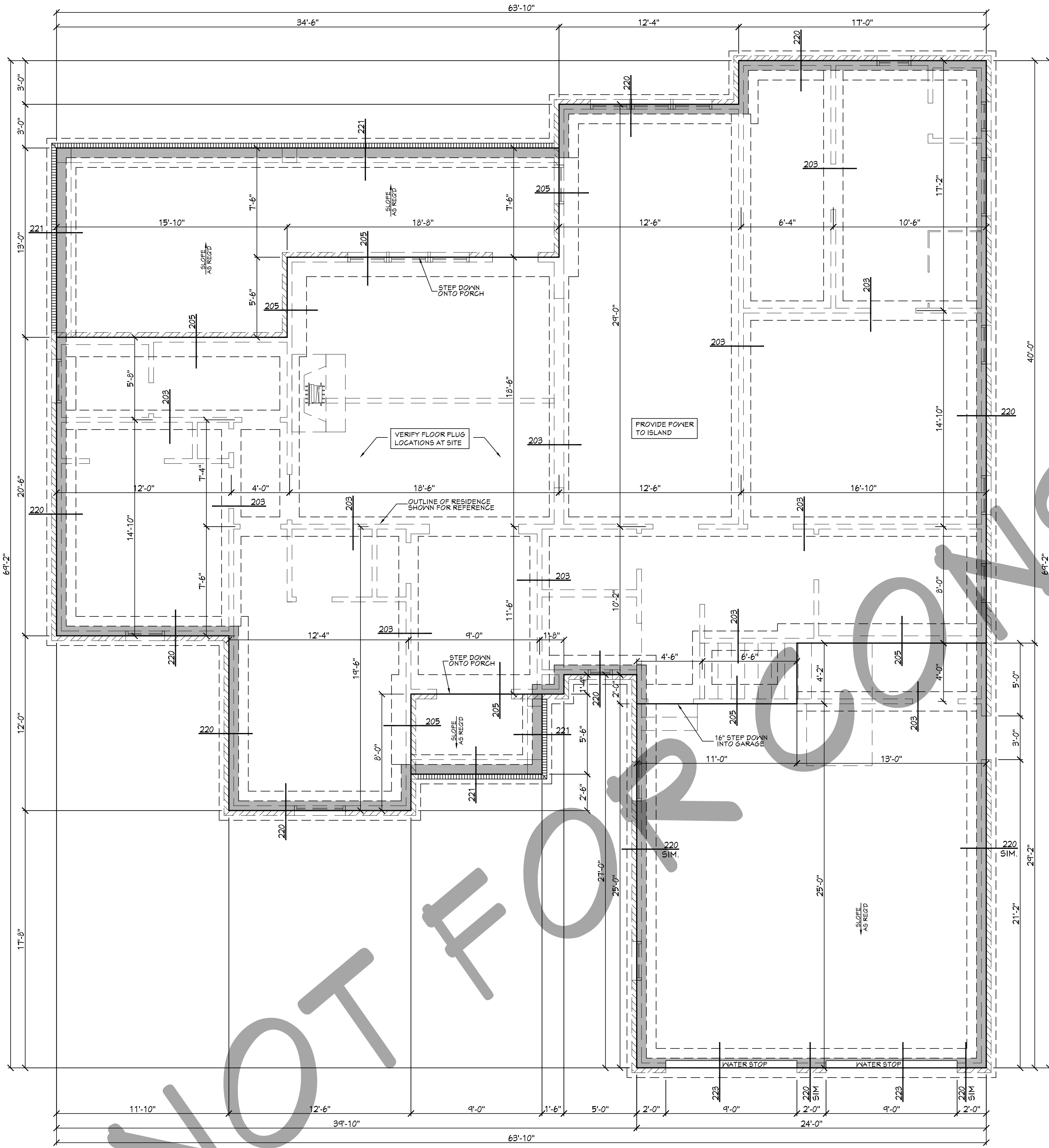


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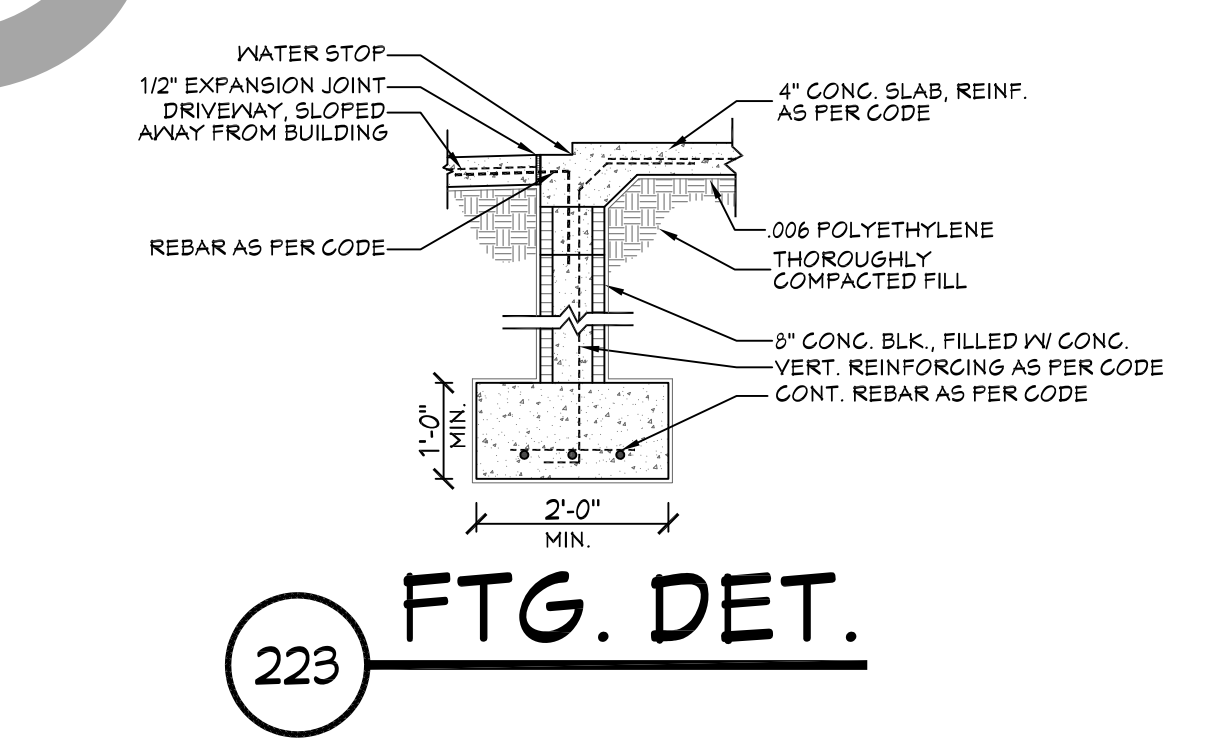
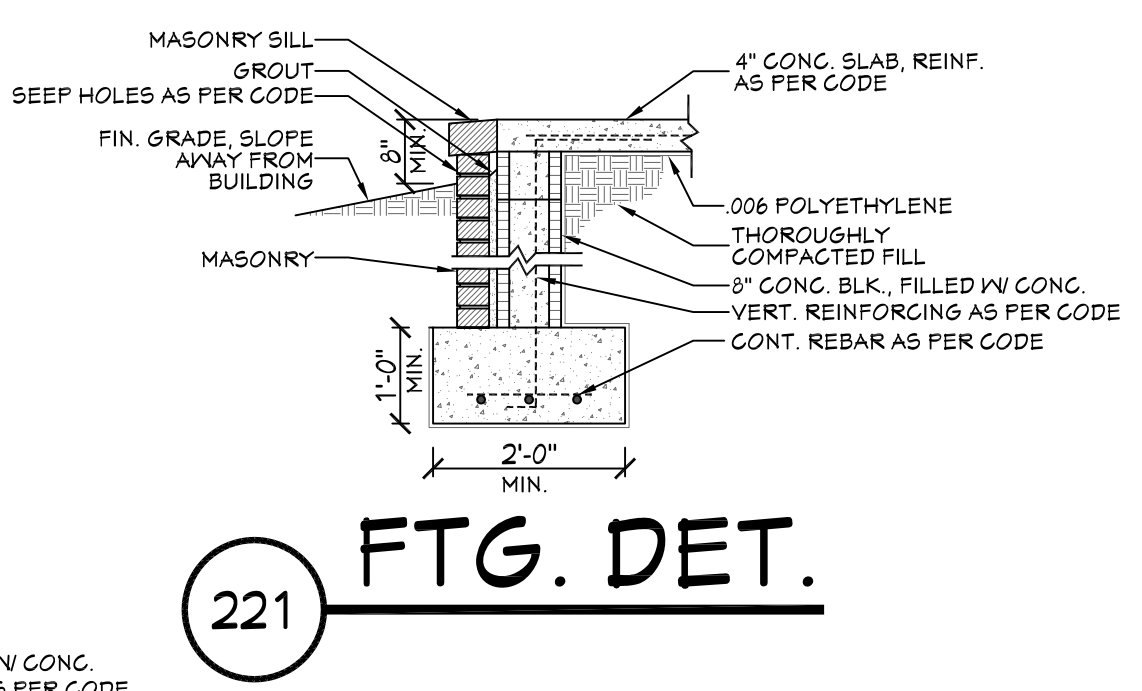
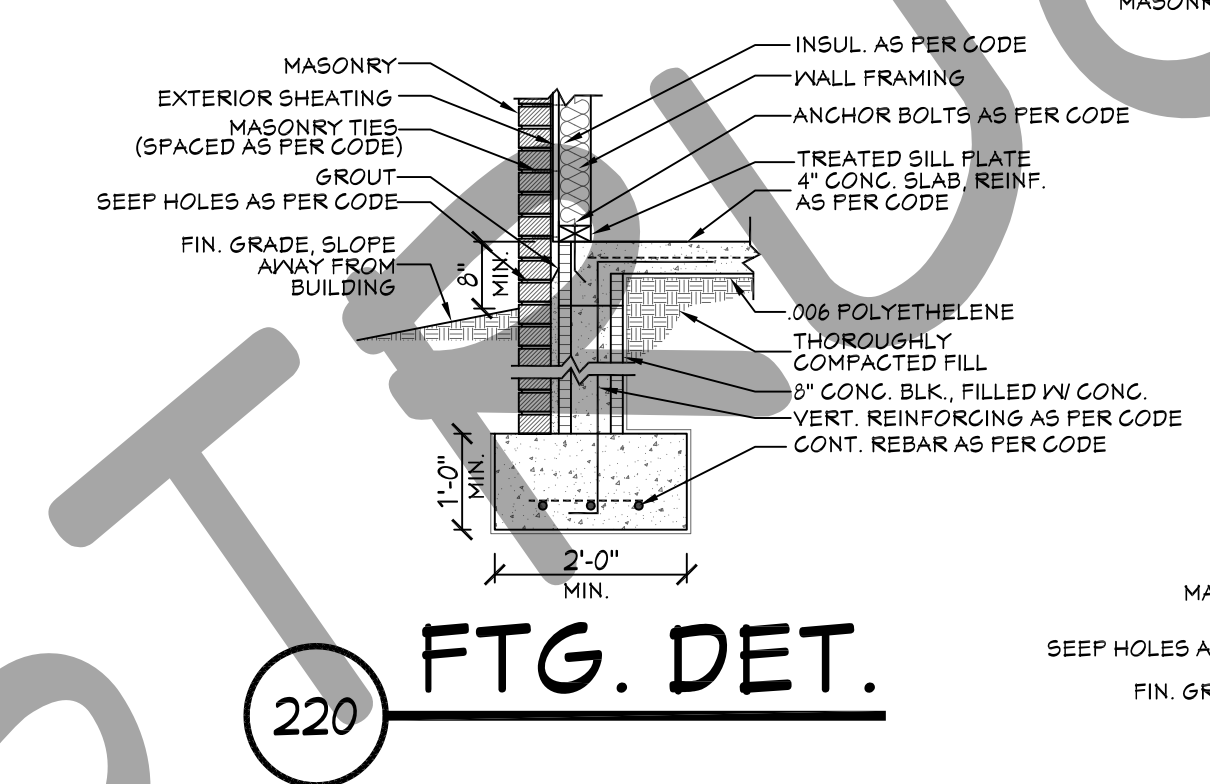
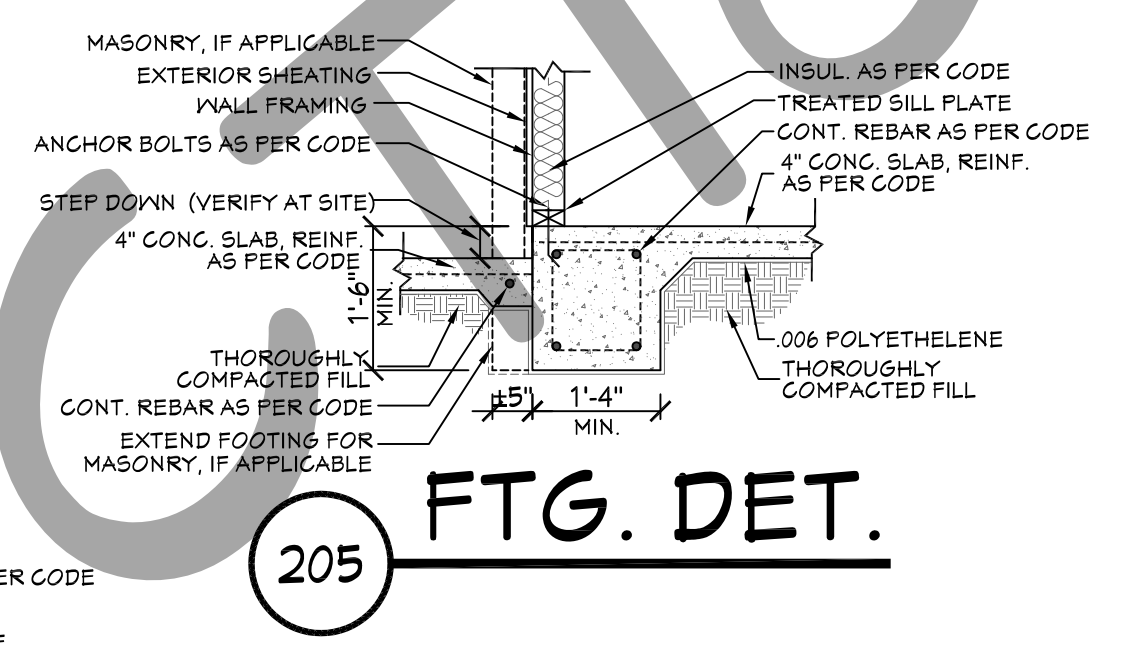
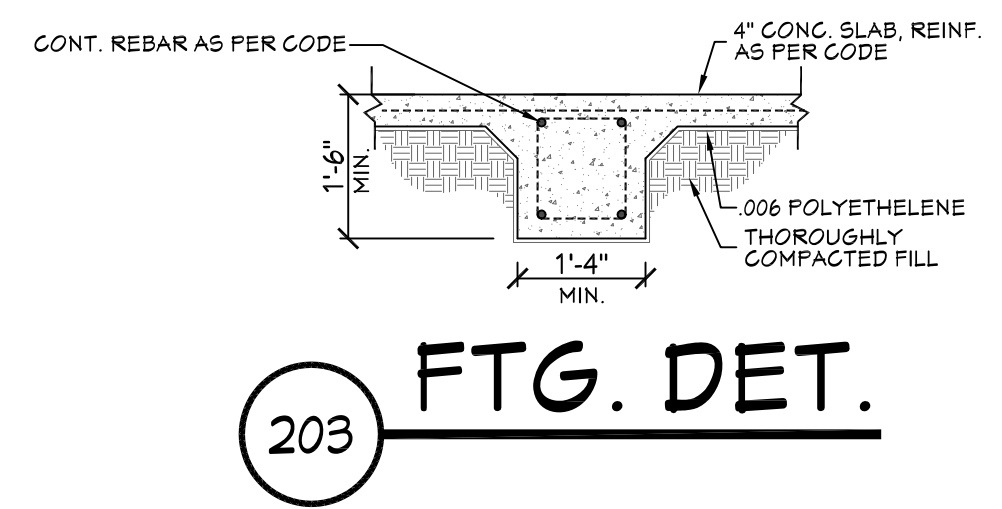
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**1**



**201 FOUNDATION PLAN**  
SCALE----- 1/4" = 1'-0"



- SLAB FOUNDATION NOTES:**
1. ALL FOOTING SIZES AND LOCATIONS TO BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER.
  2. CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
  3. CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH FLOOR PLAN PRIOR TO CONSTRUCTION AND MAKE ANY NECESSARY ADJUSTMENTS.
  4. CONTRACTOR TO PROVIDE WATERPROOFING AS REQ'D TO MEET ALL APPLICABLE CODES AND TYPICAL BUILDING PRACTICES.
  5. CONCRETE SLABS TO BE 4" (3000 psi MIN.), REINFORCED AS PER CODE OR AS DETERMINED BY LICENSED ENGINEER.

**CODE DISCLAIMER:**

1. THESE PLANS WERE DESIGNED TO MEET IRC 2012 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE AREA IN WHICH THEY WERE DESIGNED. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.
2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.
3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2012 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.
4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.
5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

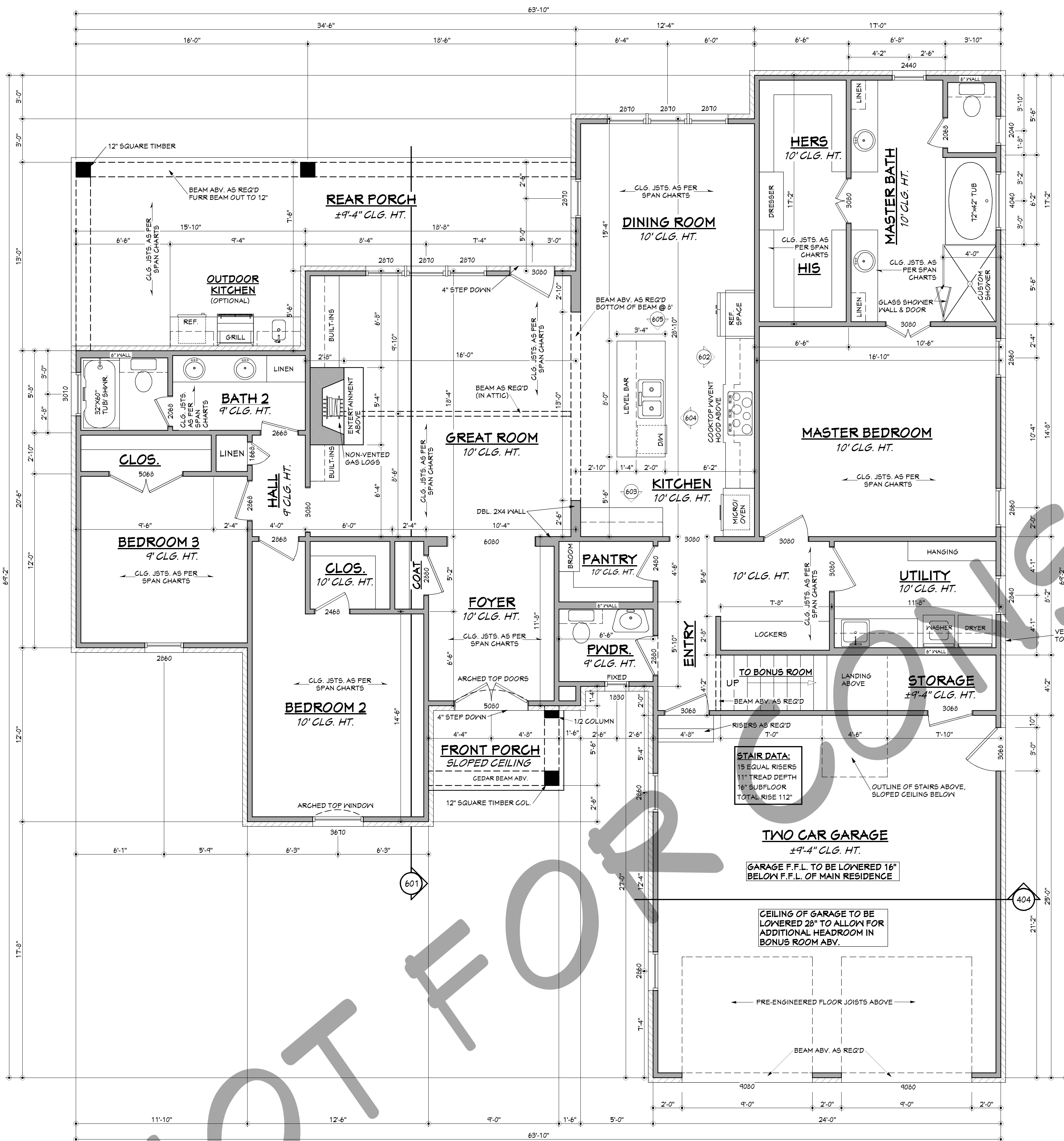
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XXXXXXXXXX has exercised great care and effort in the development of these plans and the completion of these construction documents. It is the policy of XXXXXXXXXXXX to provide the highest quality of service to its clients. XXXXXXXXXXXX assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design, construction or use of these plans. XXXXXXXXXXXX highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. In addition, XXXXXXXXXXXX recommends that these plans be reviewed by a local building official to verify that they meet all other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.



NOTE: CONTRACTOR TO LOCATE WATER HEATER & HVAC AT SITE.

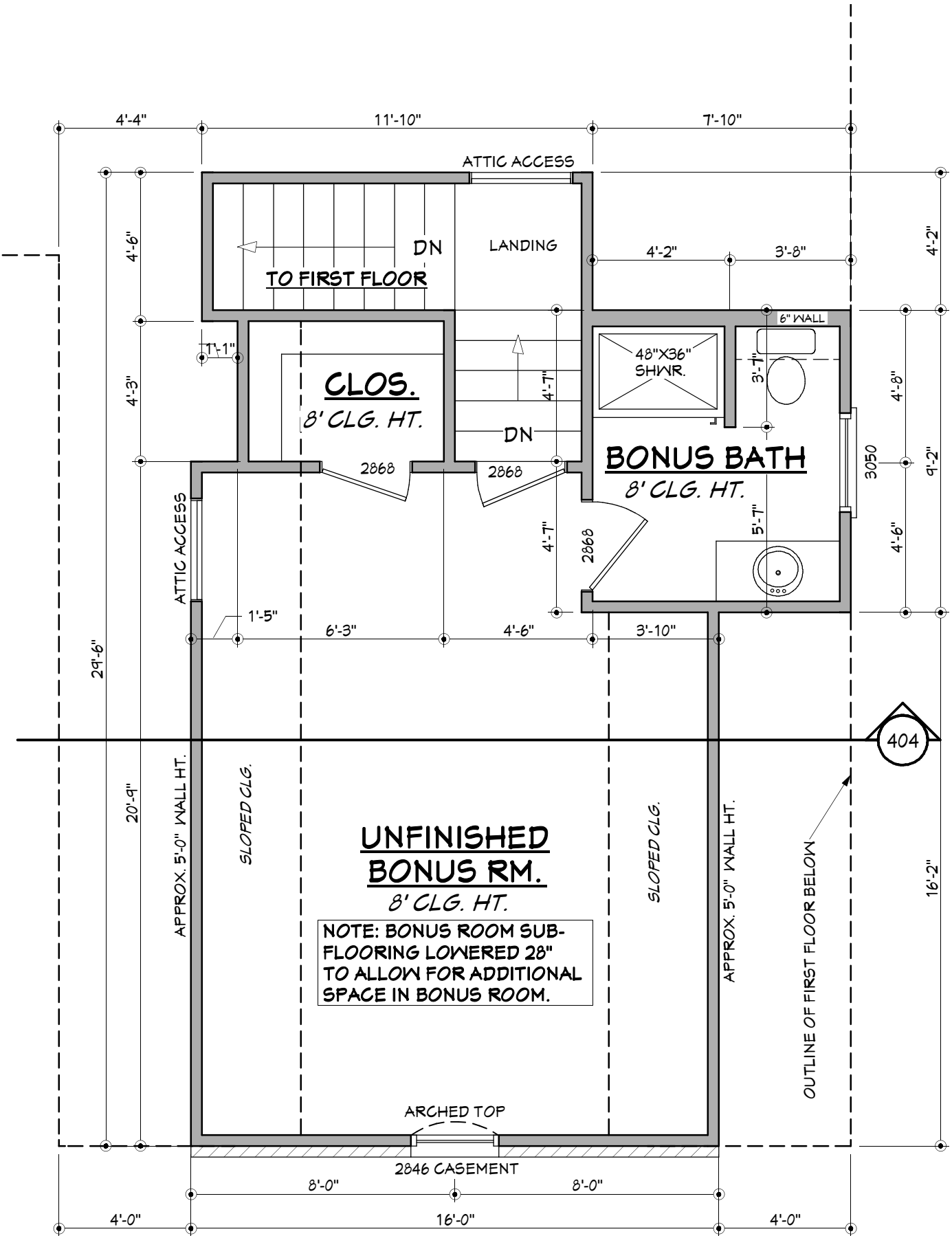
# FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREAS:	2217	S.F. HEATED - NOT INCLUDING MASONRY
	436	S.F. UNHEATED - BONUS ROOM
	50	S.F. UNHEATED - FRONT PORCH
	600	S.F. UNHEATED - GARAGE
	31	S.F. UNHEATED - STORAGE
	345	S.F. UNHEATED - REAR PORCH
	1462	S.F. TOTAL UNHEATED
	3679	S.F. TOTAL UNDER ROOF
		**MASONRY NOT INCLUDED**

### NOTES:

- ALL DIMENSIONS & SITE CONDITIONS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- ALL FINISHES (INTERIOR & EXTERIOR) TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
- VERIFY ALL DOOR AND WINDOW STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION. MANUFACTURER TO SUPPLY ALL ROUGH OPENING SIZES.
- CONTRACTOR TO VERIFY ALL CLEARANCES OF ALL DOORS, WINDOWS AND OTHER ITEMS THAT ARE CRITICAL PRIOR TO CONSTRUCTION.
- CONTRACTOR TO ADAPT PLANS AS REQUIRED TO MEET ALL APPLICABLE CODES AT SITE.
- ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
- PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR GRADE BELOW AT ANY POINT WITHIN 36 INCHES HORIZONTALLY SHALL HAVE GUARDS NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM T NOSING OF THE TREADS. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD. IRC 2012, R312.1.1 & R312.1.2
- M1305.1.3 APPLIANCES IN ATTICS. ATTICS CONTAINING APPLIANCES SHALL BE PROVIDED WITH AN OPENING AND A CLEAR AND UNOBSTRUCTED PASSAGEWAY LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE, BUT NOT LESS THAN 30 INCHES HIGH AND 22 INCHES WIDE AND NOT MORE THAN FEET LONG MEASURED ALONG THE CENTERLINE OF THE PASSAGEWAY FROM THE OPENING TO THE APPLIANCE. THE PASSAGEWAY SHALL HAVE CONTINUOUS SOLID FLOORING IN ACCORDANCE WITH CHAPTER 5 NOT LESS THAN 24 INCHES WIDE. A LEVEL SERVICE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED. THE CLEAR ACCESS OPENING DIMENSIONS SHALL BE A MINIMUM OF 20 INCHES BY 30 INCHES, AND LARGE ENOUGH TO ALLOW REMOVAL OF THE LARGEST APPLIANCE. EXCEPTIONS:
  - THE PASSAGEWAY AND LEVEL SERVICE SPACE ARE NOT REQUIRED WHERE THE APPLIANCE CAN BE SERVICED AND REMOVED THROUGH THE REQUIRED OPENING.
  - WHERE THE PASSAGEWAY IS UNOBSTRUCTED AND NOT LESS THAN 6 FEET HIGH AND 22 INCHES WIDE FOR ITS ENTIRE LENGTH, THE PASSAGEWAY SHALL BE NOT MORE THAN 50 FEET LONG.
- APPLIANCE ACCESS FOR INSPECTION SERVICE, REPAIR AND REPLACEMENT. APPLIANCES SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION, OTHER APPLIANCES, OR ANY OTHER PIPING OR DUCTS NOT CONNECTED TO THE APPLIANCE BEING INSPECTED, SERVICED, REPAIRED OR REPLACED. A LEVEL WORKING SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PROVIDED IN FRONT OF THE CONTROL SIDE TO SERVICE AN APPLIANCE. INSTALLATION OF ROOM HEATERS SHALL BE PERMITTED WITH AT LEAST AN 18-INCH WORKING SPACE. A PLATFORM SHALL NOT BE REQUIRED FOR ROOM HEATERS. M1305.1.1 FURNACES AND AIR HANDLERS. FURNACES AND AIR HANDLERS WITHIN COMPARTMENTS OR ALSO SHALL HAVE A MINIMUM WORKING SPACE CLEARANCE OF 3 INCHES ALONG THE SIDES, BACK AND TOP WITH TOTAL WIDTH OF THE ENCLOSING SPACE BEING AT LEAST 12 INCHES WIDER THAN THE FURNACE OR AIR HANDLER. FURNACES HAVING A FIREBOX OPEN TO THE ATMOSPHERE SHALL HAVE AT LEAST A 6-INCH WORKING SPACE ALONG THE FRONT COMBUSTION CHAMBER SIDE. COMBUSTION AIR OPENINGS AT THE REAR OR SIDE OF THE COMPARTMENT SHALL COMPLY WITH THE REQUIREMENTS OF CHAPTER 17. EXCEPTION: THIS SECTION SHALL NOT APPLY TO REPLACEMENT APPLIANCES INSTALLED IN EXISTING COMPARTMENTS AND ALCOVES WHERE THE WORKING SPACE CLEARANCES ARE IN ACCORDANCE WITH THE EQUIPMENT OR APPLIANCE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL SLEEPING ROOMS TO HAVE AN EXTERIOR ACCESS THROUGH A DOOR OR WINDOW WITH A MINIMUM CLEAR OPENING AS PER IRC 2012 R310.1.1. EXCEPTION: GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET. MAXIMUM SILL HEIGHT TO BE 44 INCHES. MINIMUM NET CLEAR OPENING HEIGHT TO BE 24 INCHES. MINIMUM NET CLEAR OPENING WIDTH TO BE 20 INCHES.
- ALL RETURN AIR GRILLS ARE TO BE LOCATED TO COMPLY WITH SECTION M1602 OF THE IRC 2012.
- ALL SQUARE FOOTAGE MEASUREMENTS ARE APPROXIMATE AND MAY DIFFER FROM ACTUAL CONSTRUCTION.
- FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED (IF REQUIRED BY LOCAL CODES) AS PER THE 2012 AND BY A LICENSED PROFESSIONAL IN THE AREA OF CONSTRUCTION.
- ALL BATHROOM EXHAUST VENTS SHALL BE VENTED DIRECTLY TO THE EXTERIOR OF THE HOME AND NOT INTO THE ATTIC. IRC 2012, M1507.2



# BONUS FLOOR PLAN

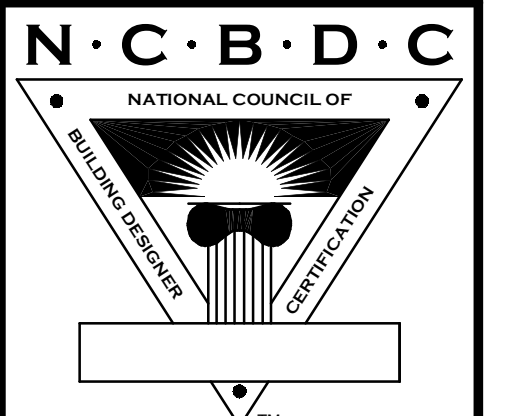
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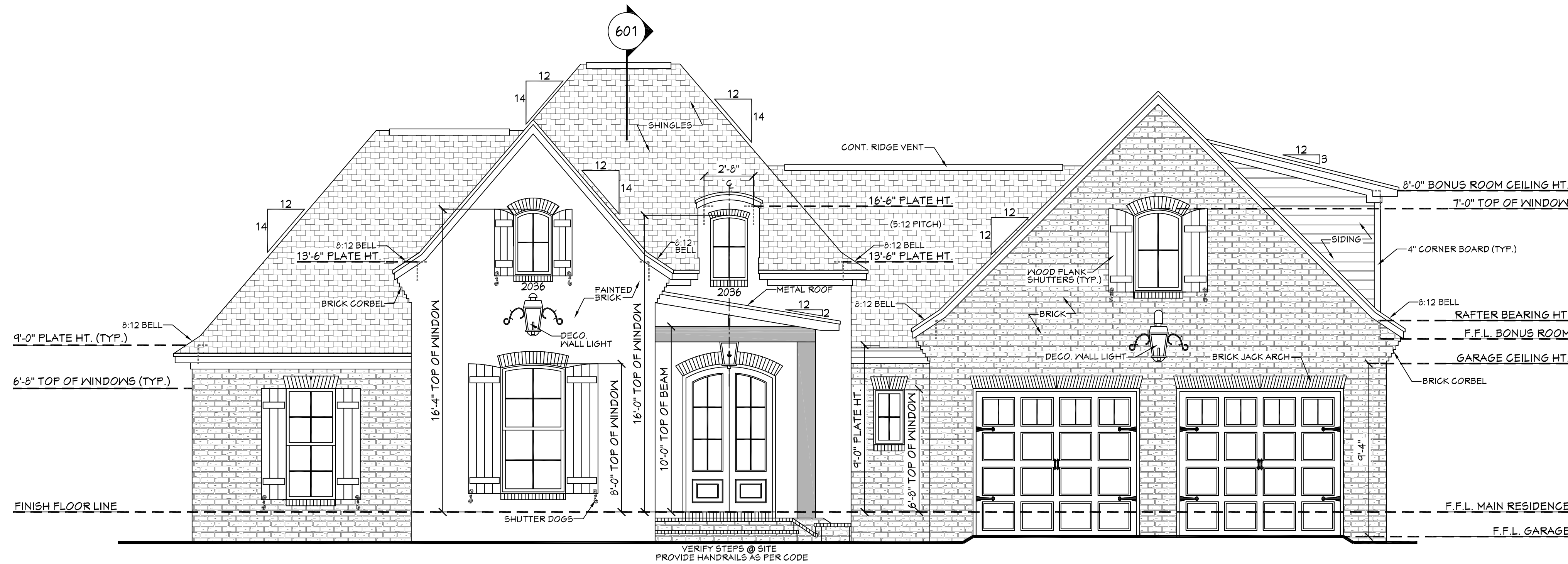
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XXXXXXXXXX has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the contractor shall be responsible for any errors, omissions or deficiencies in the design. XXXXXXXXXXXX highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

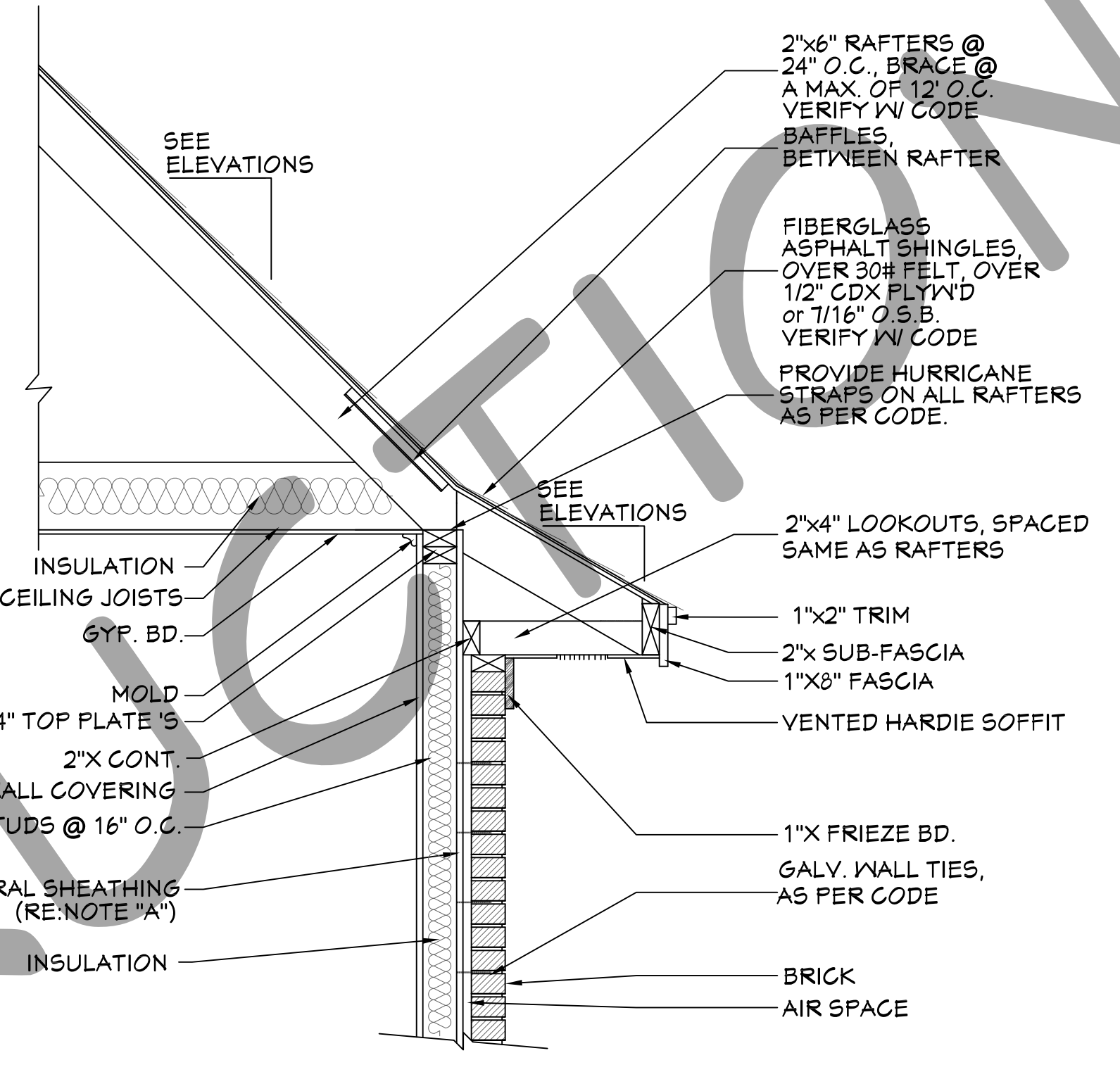
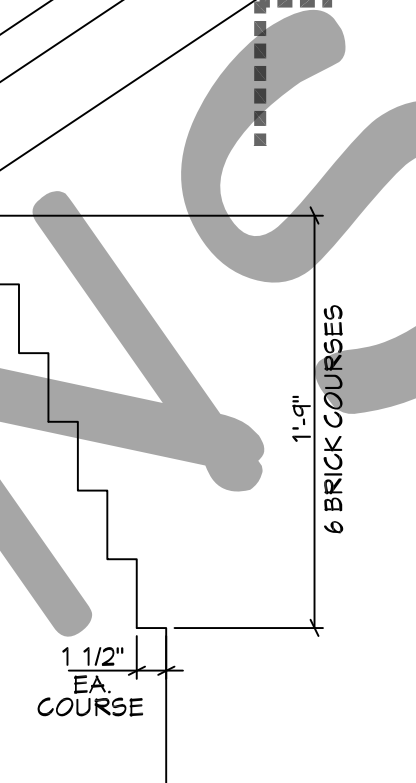


**401 FRONT VIEW**  
SCALE-----1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES:**

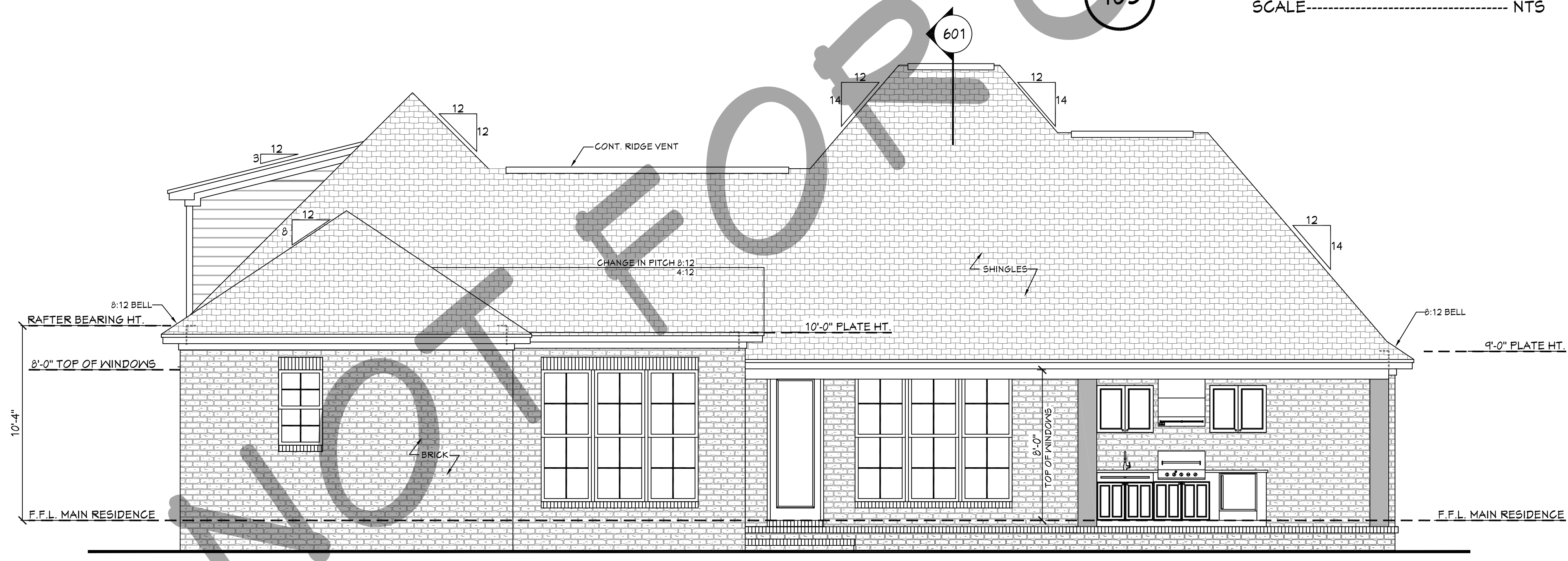
1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

**405 BRICK CORBEL DETAIL**  
SCALE-----NTS

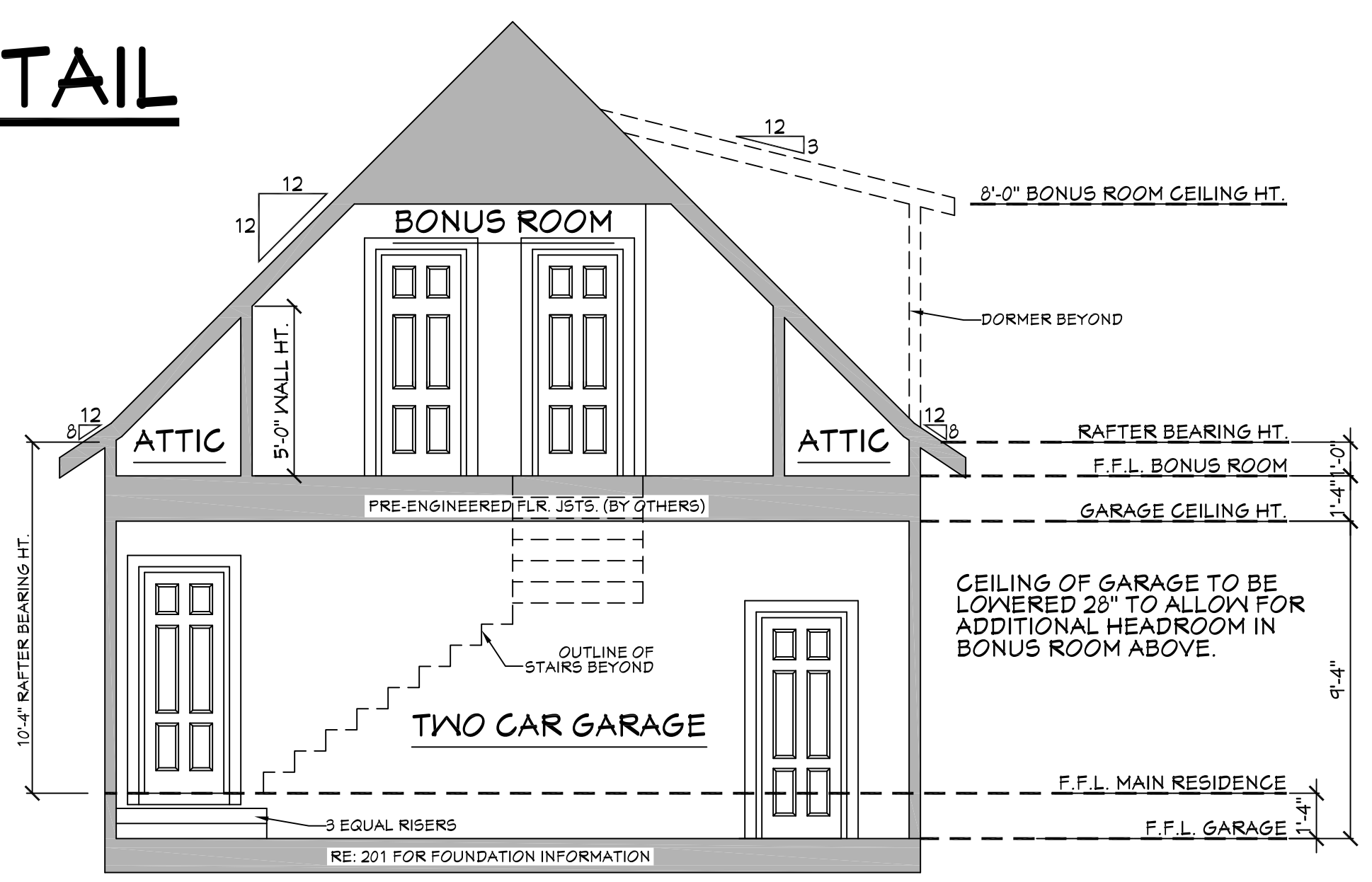


**403 DUAL PITCH CORNICE DETAIL**  
SCALE-----3/4"=1'-0"

NOTE "A": PROVIDE A MINIMUM OF 7/16" STRUCTURAL WOOD PANEL ATTACHED w/ 8d COMMON OR 10d BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.  
NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.



**402 REAR VIEW**  
SCALE-----1/4" = 1'-0"



**404 GARAGE SECTION**  
SCALE-----1/4"=1'-0"

NOTE: F.F.L. OF GARAGE TO BE LOWERED 16" BELOW F.F.L. OF MAIN RESIDENCE.

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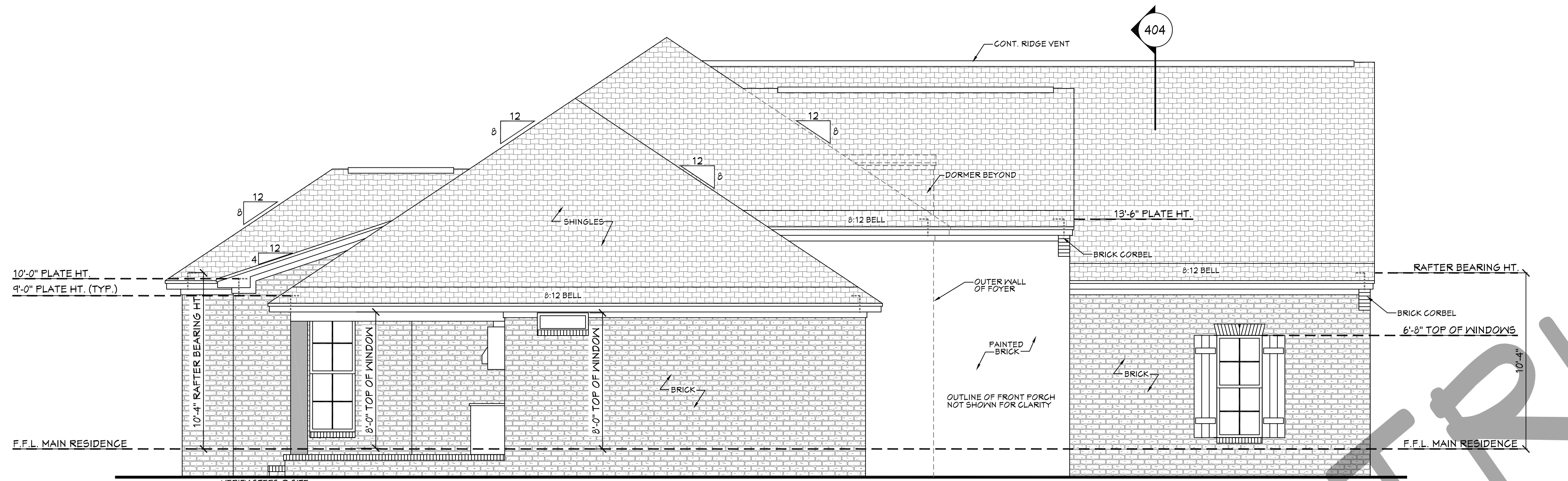
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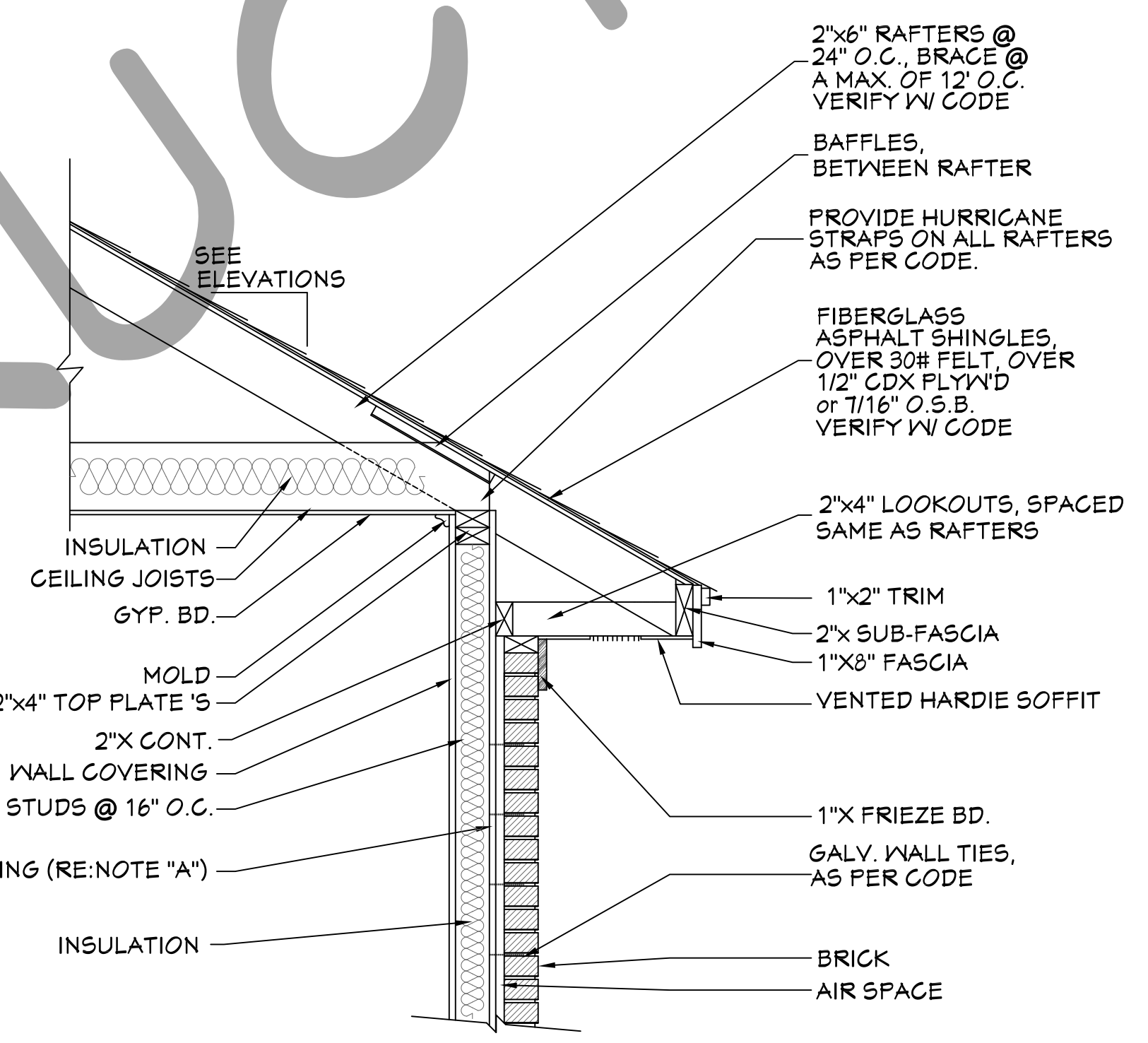
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501 LEFT VIEW  
SCALE 1/4" = 1'-0"

**EXTERIOR ELEVATION NOTES:**

1. CONTRACTOR TO VERIFY ALL WINDOW AND DOOR STYLES AND SIZES WITH OWNER PRIOR TO CONSTRUCTION.
2. PROVIDE STEPS AND GUARD RAILS AS PER CODE BASED ON SITE CONDITIONS.
3. GROUND LINES SHOWN FOR REFERENCE ONLY AND VARY DEPENDING ON SITE CONDITIONS.
4. ALL FINISH MATERIALS TO BE VERIFIED WITH OWNER PRIOR TO CONSTRUCTION.
5. REFER TO TYPICAL WALL DETAIL FOR FRAMING METHODS AND OTHER MISC. INFORMATION.
6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.



NOTE "A": PROVIDE A MINIMUM OF 7/16" STRUCTURAL WOOD PANEL ATTACHED w/ 8d COMMON OR 10d BOX NAILS AT 4" SPACING ON EDGE AND 12" IN FIELD.  
NOTE "B": CORNICE DETAIL FOR REFERENCE ONLY. REFER TO BUILDER SPECS FOR ACTUAL MATERIALS.

503 TYP. CORNICE DETAIL  
SCALE 3/4" = 1'-0"



502 RIGHT VIEW  
SCALE 1/4" = 1'-0"

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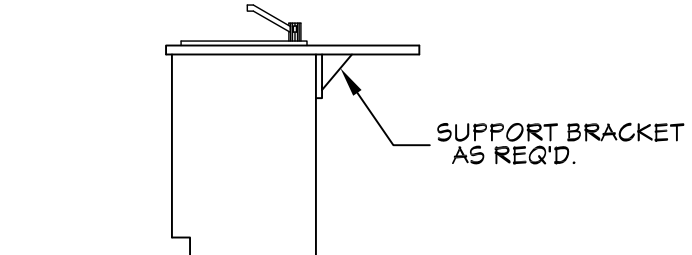
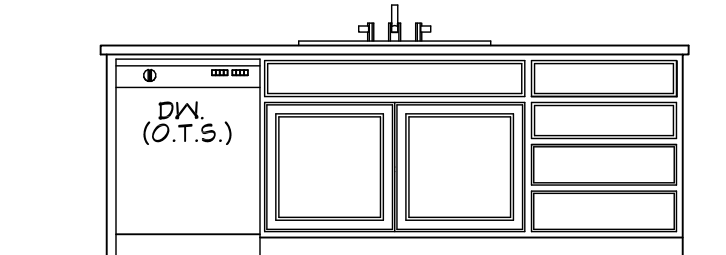
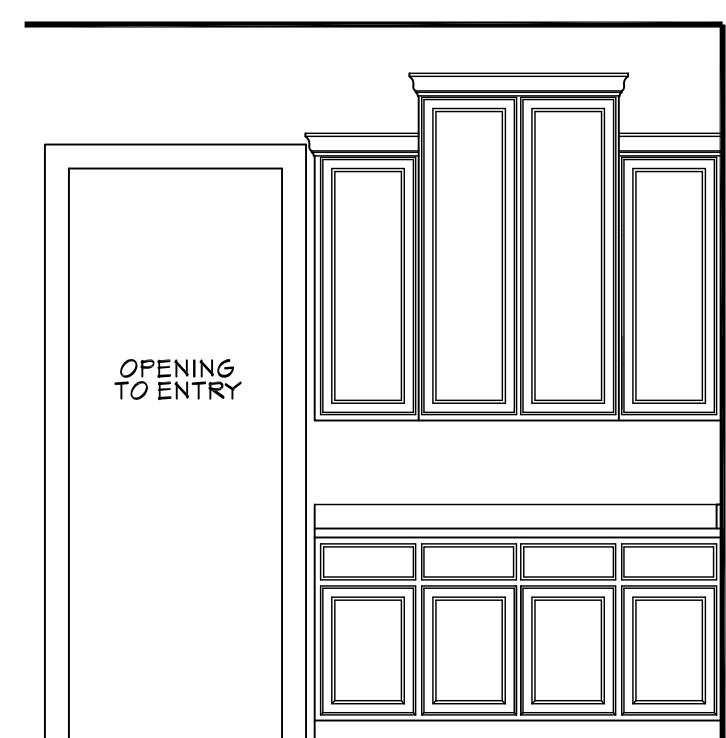
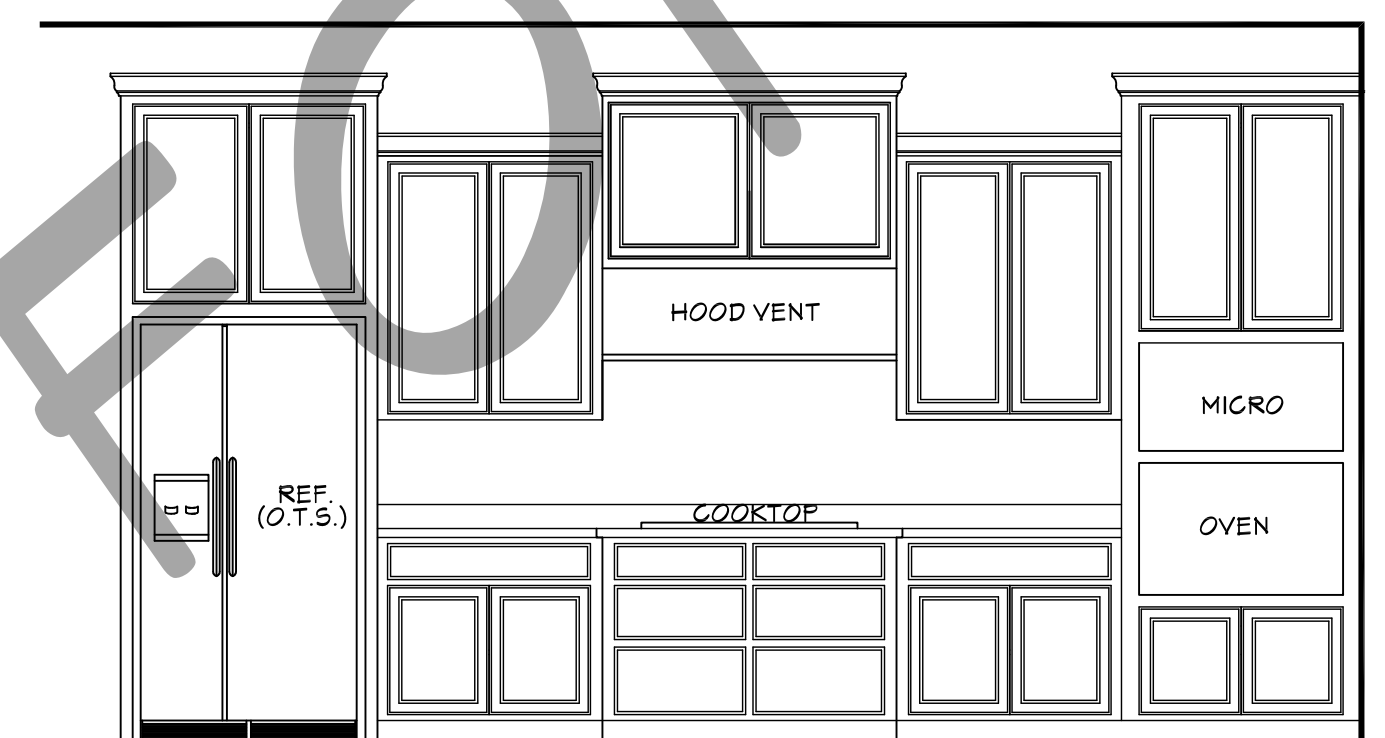
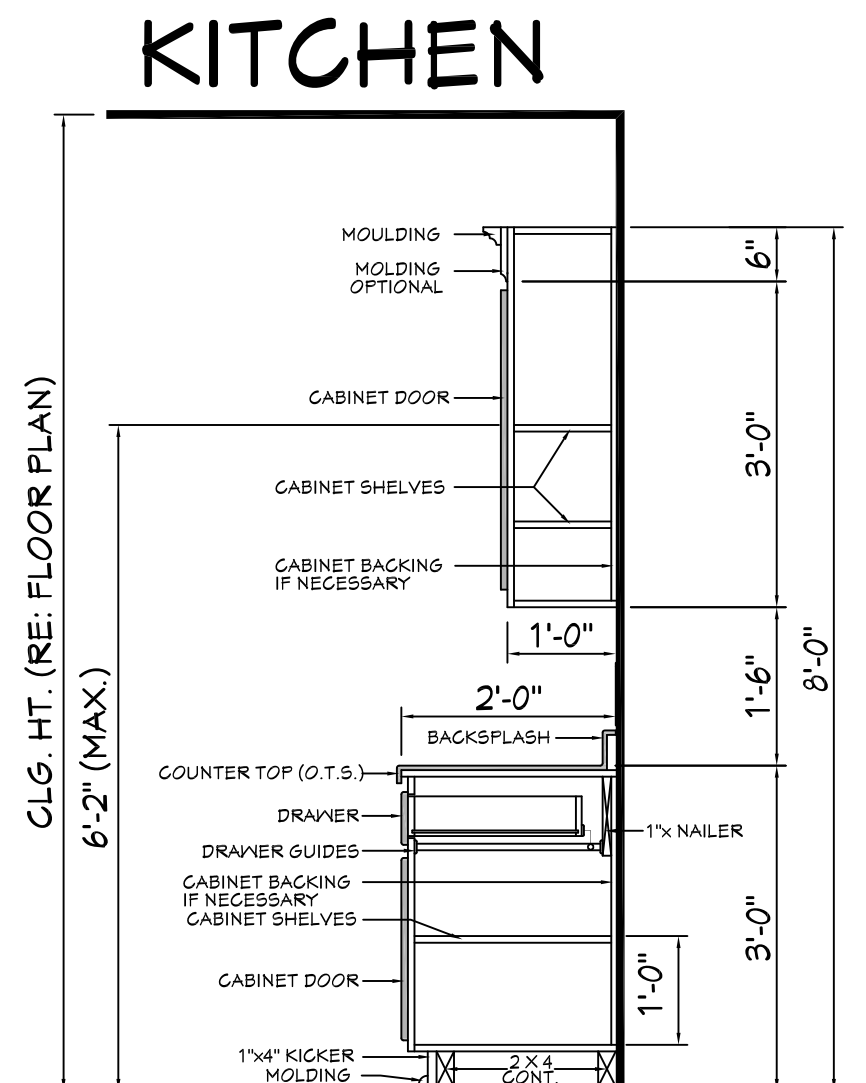
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**601 CROSS SECTION**  
SCALE-----3/8"=1'-0"

- CROSS SECTION NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
  2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" x 10", OR AS REQ'D BY ENGINEER.
  3. CONTRACTOR TO PROVIDE RAFTER BRACING TO MEET APPLICABLE CODES.
  4. CONTRACTOR TO THOROUGHLY WATERPROOF ALL EXTERIOR INTERSECTIONS AS PER CODE AND TYPICAL BUILDING PRACTICES.
  5. ALL BEAMS TO BE SIZED BY A LICENSED STRUCTURAL ENGINEER.
  6. ALL LUMBER SIZES AND SPACING TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
  7. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D. BY CURRENT CODES.



**606 TYP. CAB. SECTIONS**  
SCALE-----N.T.S.

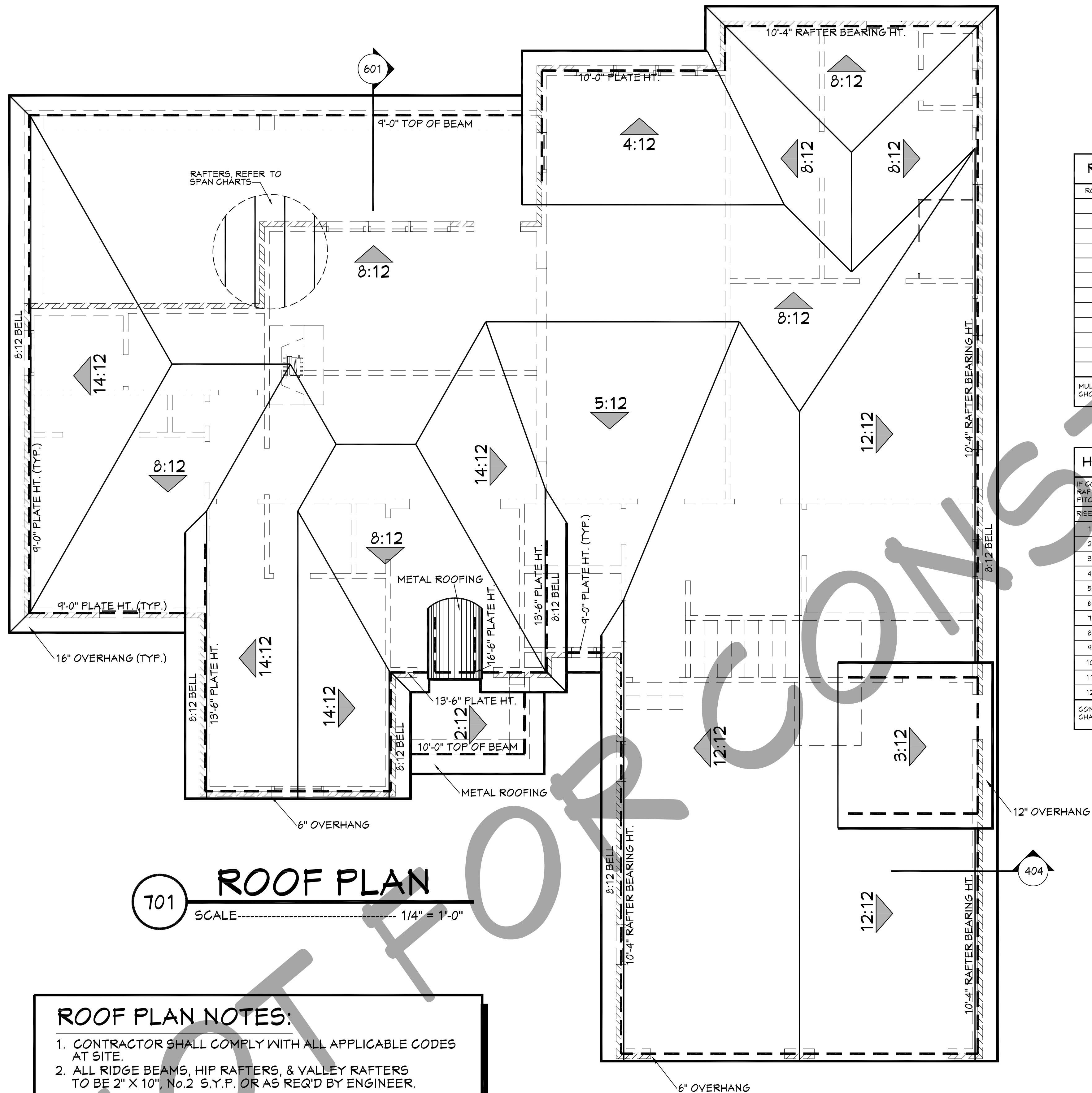
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**6**

XXXXXXXXXX: The undersigned has exercised great care and effort in the development of these plans and the completion of these construction documents. It is general in nature and shall be verified by a licensed engineer prior to construction. The undersigned assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design or construction. The undersigned highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. Other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.



**701 ROOF PLAN**  
 SCALE: 1/4" = 1'-0"

- ROOF PLAN NOTES:**
1. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
  2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS TO BE 2" X 10", No.2 S.Y.P. OR AS REQ'D BY ENGINEER.
  3. ALL RAFTERS TO BE SIZED AS PER SPAN CHART.
  4. CONTRACTOR TO WATERPROOF ALL ROOF INTERSECTIONS AS PER CODE.
  5. CONTRACTOR TO VERIFY ALL ROOF PITCHES WITH EXTERIOR ELEVATIONS PRIOR TO CONSTRUCTION.
  6. CONTRACTOR TO PROVIDE ADEQUATE ROOF VENTILATION AS REQ'D BY CURRENT CODES.

**RAFTER LENGTH CHART**

ROOF PITCH	FACTOR
3/12	1.05
4/12	1.07
5/12	1.10
6/12	1.14
7/12	1.17
8/12	1.20
9/12	1.25
10/12	1.30
11/12	1.35
12/12	1.40
14/12	1.54
16/12	1.70

MULTIPLY HORIZONTAL SPAN OF MEMBER BY FACTOR CHOOSE APPROPRIATE FACTOR BY ROOF PITCH

**HIP/ VALLEY CONVERSION**

IF COMMON RAFTER ROOF PITCH IS:		THEN HIP/ VALLEY RAFTER ROOF PITCH BECOMES:	
RISE/ RUN	SLOPE	RISE/ RUN	SLOPE
1/12	5°	1/11	3°
2/12	10°	2/11	7°
3/12	14°	3/11	10°
4/12	18°	4/11	13°
5/12	23°	5/11	16°
6/12	27°	6/11	19°
7/12	30°	7/11	22°
8/12	34°	8/11	25°
9/12	37°	9/11	28°
10/12	40°	10/11	30°
11/12	42°	11/11	33°
12/12	45°	12/11	35°

CONVERSION CHART FOR SIMPLE ROOFS ONLY. CHART DOES NOT APPLY FOR DUAL PITCH ROOFS.

**CEILING JOIST SPANS**

CEILING JOIST SPANS FOR SOUTHERN PINE SPECIES (UNINHABITABLE ATTICS WITHOUT STORAGE, LIVE LOAD = 20psf, L<sub>A</sub> = 240) DEAD LOAD = 10psf

\*\*\*IF HABITABLE ATTIC SPACE OR STORAGE IS DESIRED, REFER TO THE INTERNATIONAL RESIDENTIAL CODE, SPAN TABLES.\*\*\*

SIZE	SPACING (INCHES)	VISUALLY GRADED #2 SOUTHERN PINE (MAXIMUM CEILING JOIST SPANS) (FT. - IN.)
2 x 4	12.0	9-3
	16.0	8-0
	19.2	7-4
	24.0	6-7
2 x 6	12.0	13-11
	16.0	12-0
	19.2	11-0
	24.0	9-10
2 x 8	12.0	17-7
	16.0	15-3
	19.2	13-11
	24.0	12-6
2 x 10	12.0	20-11
	16.0	18-1
	19.2	16-6
	24.0	14-9

NOTES:  
 The above tables are based on the 2013 New Design Values set forth by Southern Forest Product Association.

**RAFTER SPANS**

RAFTER SPANS FOR SOUTHERN PINE SPECIES  
 LIVE LOAD=30psf, L<sub>A</sub>=240) DEAD LOAD = 10psf  
 CD = 1.15 (SNOW)

SIZE	SPACING (INCHES)	SPANS (MAXIMUM RAFTER SPANS BETWEEN BRACING) (FT. - IN.)
2 x 6	12.0	12-11
	16.0	11-2
	19.2	10-2
	24.0	9-2
2 x 8	12.0	16-4
	16.0	14-2
	19.2	12-11
	24.0	11-7
2 x 10	12.0	19-5
	16.0	16-10
	19.2	15-4
	24.0	13-9
2 x 12	12.0	22-10
	16.0	19-10
	19.2	18-1
	24.0	16-2

NOTES:  
 The above tables are based on the 2013 New Design Values set forth by Southern Forest Product Association.

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**N · C · B · D · C**  
 NATIONAL COUNCIL OF BUILDING OFFICIALS  
 CONFIDENTIALITY  
 25-137

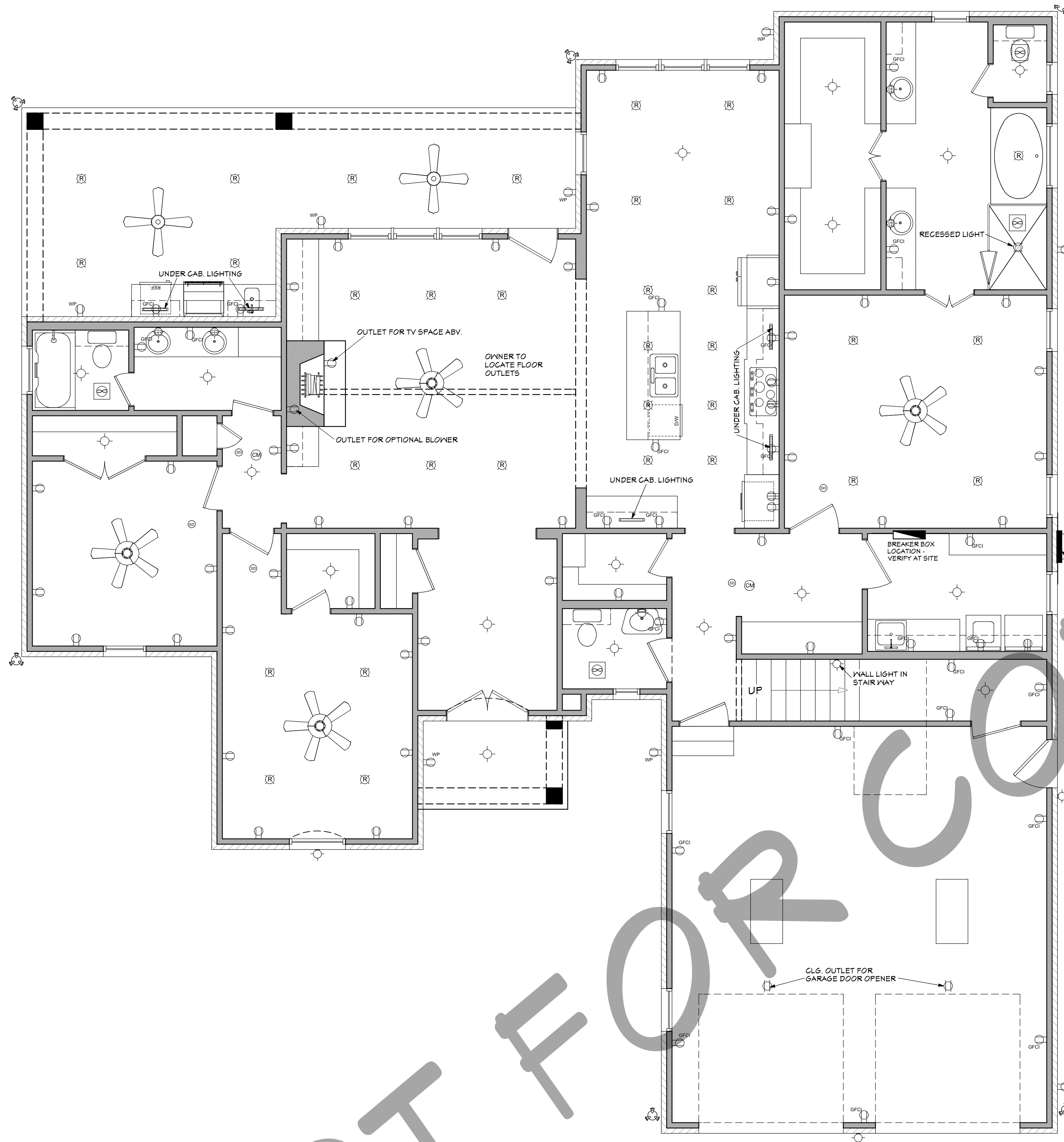
Pre-Drawn Plan ID:  
**SAMPLE**

Date:  
 Drawn By:

SHEET NUMBER  
**7**

**CODE DISCLAIMER:**  
 1. THESE PLANS WERE DESIGNED TO MEET IRC 2012 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF THE AREA IN WHICH THEY WERE DESIGNED. IT IS HIGHLY RECOMMENDED THAT THESE PLANS BE REVIEWED BY A LOCAL STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.  
 2. BEAMS AND FLOOR JOISTS ARE NOT SIZED DUE TO THE MANY GEOGRAPHIC LOCATIONS THESE PLANS ARE SOLD. THESE ITEMS SHALL BE SIZED BY A LOCAL ENGINEER OR MANUFACTURER.  
 3. ALL CEILING & FLOOR JOISTS (IF CONVENTIONAL FRAMING) SHOULD BE SIZED USING THE LATEST VERSION OF THE IRC OR APPLICABLE CODES AT SITE TO MEET THE LOCAL REQUIREMENTS SUCH AS SNOW LOADS AND OTHER FACTORS. THE CEILING JOISTS SIZES LABELED (IF PRESENT) WERE SIZED USING THE 2012 IRC AT THE TIME OF THEIR CREATION. THEY MUST BE VERIFIED AND MODIFIED AS REQUIRED TO MEET THE LATEST EDITION OF THE (IRC) INTERNATIONAL RESIDENTIAL CODE.  
 4. ALL FOUNDATIONS AND FOOTING DETAILS SHALL BE REVIEWED AND APPROVED BY A LOCAL ENGINEER.  
 5. CONTRACTOR SHALL PROVIDE ALL HIGH WIND STRAPPING AND ANCHOR BOLTS AS REQUIRED BY THE LOCAL CODE REQUIREMENTS AND THE LATEST VERSION OF THE IRC.

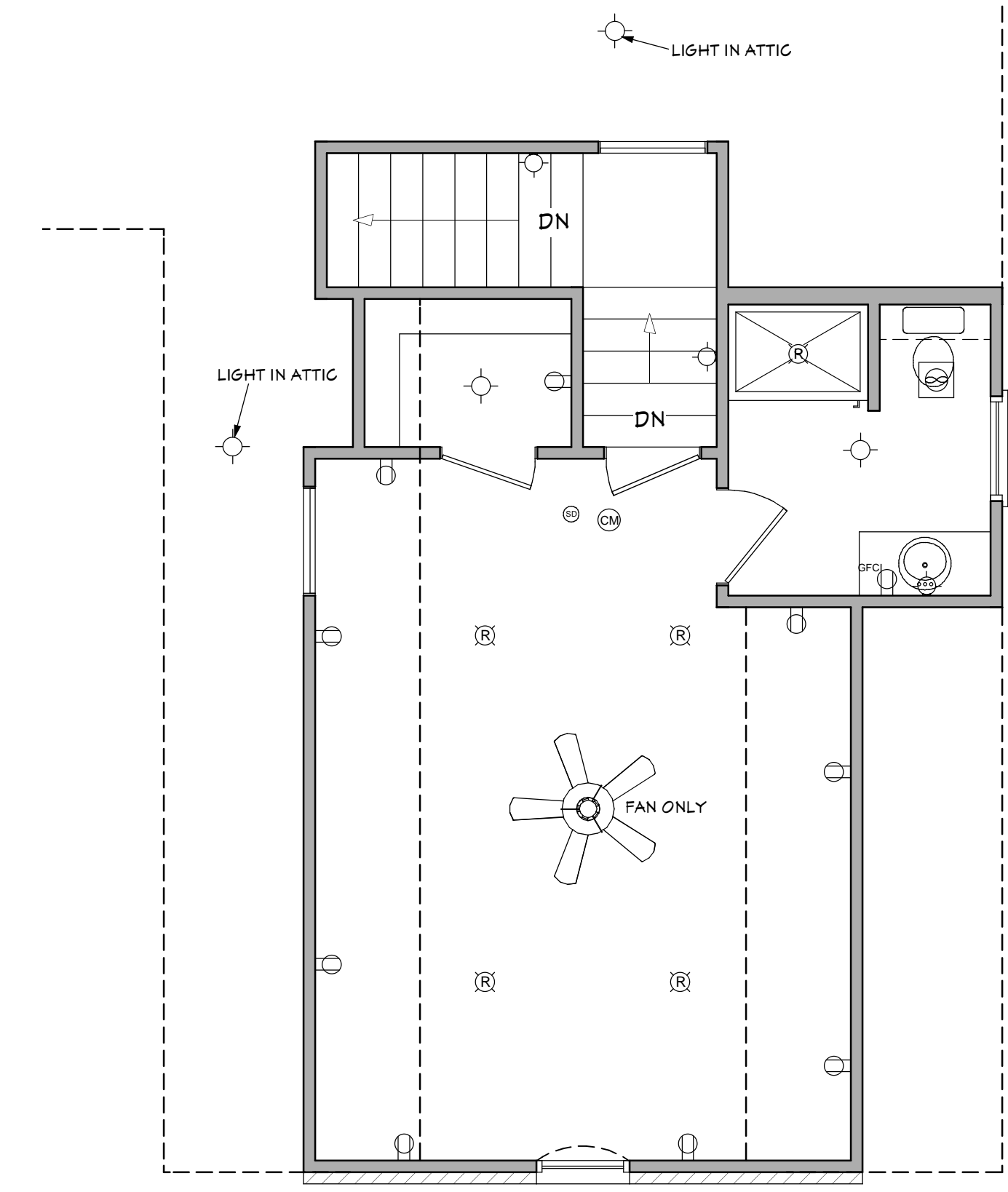
XXXXXXXXXX has exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user of these plans assumes no responsibility for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. XXXXXXXXXXXX highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction. XXXXXXXXXXXX does not warrant the accuracy of these plans. All dimensions shall be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.



SYMBOL	DESCRIPTION
[Symbol]	110 VOLT OUTLET
[Symbol]	GROUND FAULT PROTECTED OUTLET
[Symbol]	WEATHERPROOF OUTLET
[Symbol]	220 VOLT RECEPTACLE
[Symbol]	FLOOR OUTLET (OWNER TO LOCATE)
[Symbol]	CEILING HUNG FIXTURE
[Symbol]	OVERHANG MOUNTED FLOODLIGHTS
[Symbol]	WALL MOUNTED FLOODLIGHTS
[Symbol]	RECESSED CEILING FIXTURE
[Symbol]	FLUORESCENT LIGHT
[Symbol]	CARBON MONOXIDE DETECTOR
[Symbol]	SMOKE DETECTOR
[Symbol]	SWITCH
[Symbol]	THREE WAY SWITCH
[Symbol]	WALL MOUNTED LIGHT
[Symbol]	DIMMER SWITCH (OWNER TO LOCATE)
[Symbol]	DOOR ACTIVATED SWITCH
[Symbol]	WEATHERPROOF OUTLET
[Symbol]	CATS NETWORKING JACK (OWNER TO LOCATE)
[Symbol]	TELEPHONE OUTLET (OWNER TO LOCATE)
[Symbol]	TELEVISION OUTLET (OWNER TO LOCATE)
[Symbol]	DOORBELL BUTTON (CONTRACTOR TO LOCATE)
[Symbol]	THERMOSTAT (CONTRACTOR TO LOCATE)
[Symbol]	CEILING EXHAUST FAN, VENT TO EXTERIOR
[Symbol]	TV SPEAKER
[Symbol]	RADIO SPEAKER

[Symbol]	CEILING FAN ONLY, NO LIGHT KIT
[Symbol]	CEILING FAN WITH LIGHT KIT
[Symbol]	TRACK LIGHTING (OWNER TO LOCATE)
[Symbol]	WALL SCONCE (OWNER TO LOCATE)
[Symbol]	CHANDELIER 1 (O.T.S.)
[Symbol]	CHANDELIER 2 (O.T.S.)
[Symbol]	UNDER COUNTER LIGHTING
[Symbol]	EMERGENCY LIGHTING/ EXIT SIGN

**ELECTRICAL NOTES:**  
 1. ALL WORK SHALL COMPLY WITH ALL CODES APPLICABLE AT SITE.  
 2. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN A DWELLING THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT. SMOKE ALARMS SHALL BE HARD WIRED WITH A BATTERY BACK UP.  
 3. CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS WITH ATTACHED GARAGES.  
 4. A 125 VOLT, SINGLE PHASE, 15-20 AMPERE RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET OF THE EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS.



**BONUS FLOOR ELECTRICAL PLAN**

SCALE: 1/4" ===== 1'-0"

**ELECTRICAL PLAN**

SCALE: 1/4" ===== 1'-0"

NOTE: SWITCHES AND ARCS NOT SHOWN. OWNER TO LOCATE THESE ITEMS DURING ELECTRICAL WALK-THROUGH WITH ELECTRICAL CONTRACTOR.

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Pre-Drawn Plan ID:

**SAMPLE**

XXXXXXXXXX have exercised great care and effort in the development of these plans and the completion of these construction documents. However, the user of these plans shall be responsible for any damages, including structural failures resulting from errors, omissions or deficiencies in the design. XXXXXXXXXXXX highly recommends that these plans be reviewed by a licensed structural engineer in the area of construction, other special conditions required by local building codes. All dimensions to be verified on site prior to construction. If a foundation plan has been included in these plans, it is general in nature and shall be verified by a licensed engineer prior to construction.

Date:

Drawn By:

Project Name:

SHEET NUMBER

8